

FENCES Information Sheet



Department of Planning
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ZONING PERMITS are required for all fences installed in Hastings.

TYPE OF FENCING MATERIALS – All fences on residential property must be constructed with the finished appearance on the outward side visible to the public. All materials used to construct the fence shall be sound materials, resistant to rot, and capable of accepting and maintaining a visually attractive appearance; however, no hazardous type of fencing should be installed, ie: barbed wire, electric fences, etc.

THE MAXIMUM HEIGHT of any fence installed within the City of Hastings is 6 feet, with a limit of 42" in height for front yards. Fences installed around swimming pools from ground up must be a minimum of 4 feet high and non-climbable with a self closing-self latching gate.

SETBACKS - All fences may be installed up to but not on the property line.

ESTABLISHING PROPERTY LINES - The City of Hastings does not provide a surveying service. It is up to the homeowner to establish the location of the lines. The City may require a Land Survey by a registered surveyor.

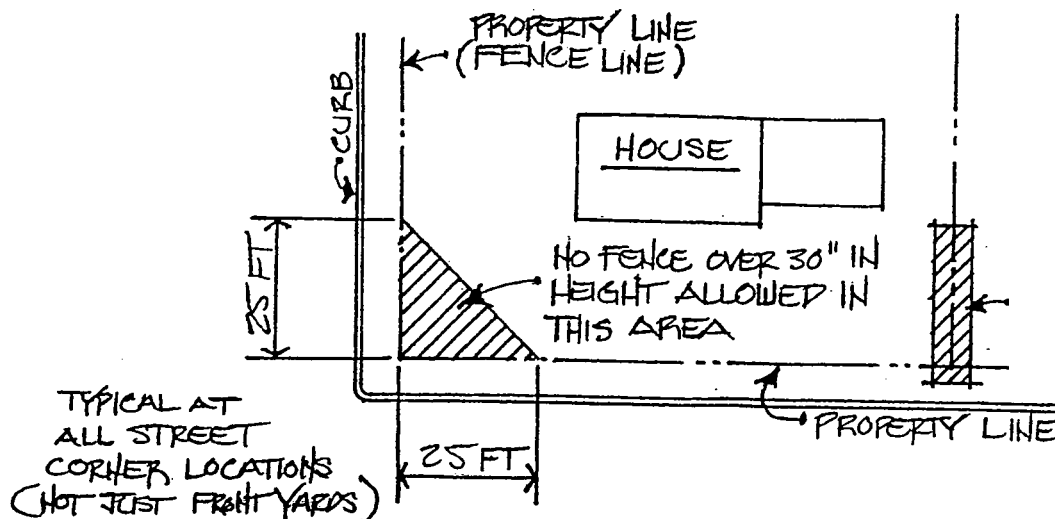
SPECIAL CONSIDERATION/CORNER LOTS - Fences that extend into front yards of corner lots **MUST NOT** impair traffic visibility. See attached drawing.

EASEMENTS - Generally, fences are allowed to be placed within drainage and utility easements, with the understanding that should the City of Hastings need to do work or gain access via an easement, the fence can be removed at the owner's expense. However, some easements contain utility lines or provide access to drainage areas, and the Public Works Director may prohibit fences to be placed within those easements.

COVENANTS - The City of Hastings does not enforce the private covenants of subdivisions. Homeowners should always check the covenants in their area for additional fence requirements.

INSPECTIONS - An inspection during installation and/or after completion is required for all fences.

FENCE REQUIREMENTS - SPECIAL CONSIDERATIONS - CORNER LOTS



EASEMENT FENCING AND LANDSCAPING POLICY

Adopted by the Hastings City Council April 4, 2005

For the purpose of this policy, easements shall be classified into the following categories:

- 1) Standard lot line drainage and utility easements that do not contain underground storm sewer, sanitary sewer, or watermain utilities.
- 2) Drainage and utility easements that contain underground storm sewer, sanitary sewer, or watermain utilities.
- 3) Drainage and utility easements that serve as drainage ways draining more than one lot.
- 4) Drainage and utility easements that serve as ponding basins.
- 5) Trail or pedestrian easements.

Any fence, plantings, or other landscape improvements installed within a drainage and utility easement are subject to removal as necessary for the installation, repair, maintenance, access or removal of public utilities and/or drainage improvements. The property owner shall be responsible at their expense for both the removal costs and reinstalling any improvements within the drainage and utility easement that were removed in order to utilize the drainage and utility easement.

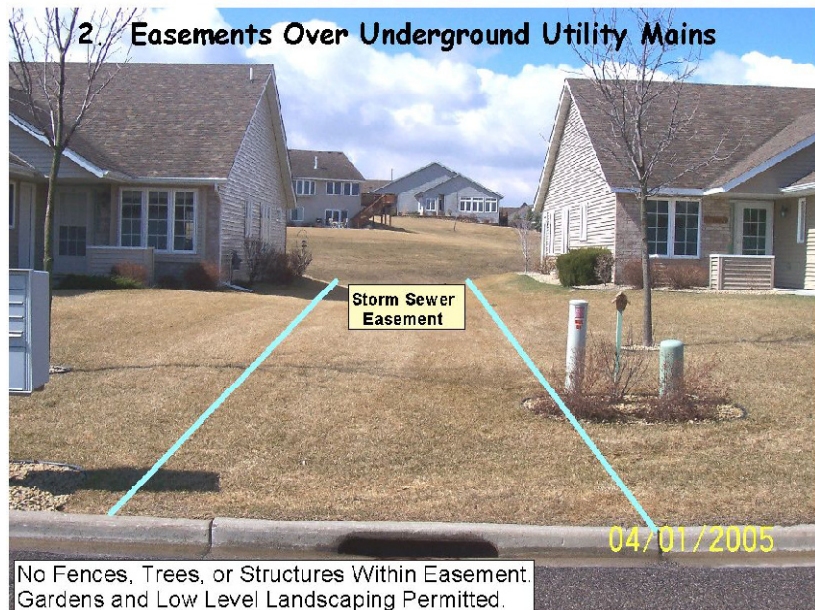
1. Standard lot line drainage and utility easements that do not contain underground storm sewer, sanitary sewer, or watermain utilities.

Fences, trees, bushes, gardens, lawn irrigation systems and other types of landscaping are permitted as long as the improvements meet City ordinance requirements and applicable permits are granted. However, these improvements cannot impede drainage flow.



2. Drainage and utility easements that contain underground storm sewer, sanitary sewer, or watermain utilities.

No fences, trees, landscape timbers or block, play structures, utility sheds or hedges and other large bushes shall be installed within drainage and utility easements that contain underground storm sewer, sanitary sewer, or watermain utilities. Small gardens, small bushes and other low level landscaping is permitted within these easements as long as such improvements do not block inspection and maintenance access to the underground utilities.

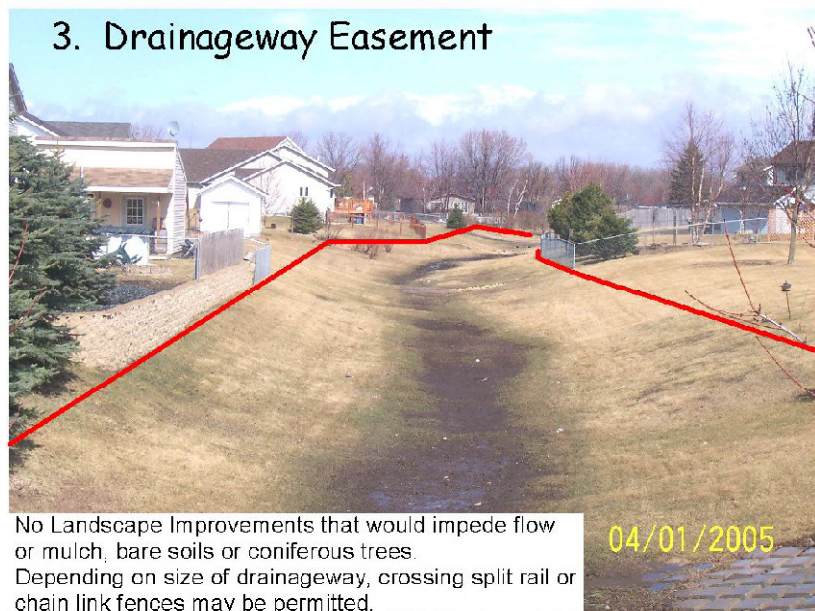


3. Drainage and utility easements that serve as drainage ways draining more than one lot.

Any fences crossing or installed within drainage and utility easements that serve as drainage ways for more than one lot cannot impede water flow. Installation of split rail fences or chain link fences that do not contain slats will be permitted. Privacy fences that would impede water flow may be permitted if the Public Works Department determines that the drainage way carries minor flows and if the bottom of the privacy fence is

constructed a minimum of 12 inches above the ground through the drainage

Coniferous trees are not permitted within the drainage way. Deciduous trees may be planted not closer than 5 feet from the centerline of the flow channel. All of the



ground surface within the drainage and utility easement must be vegetated with grass or other suitable ground cover approved by the City Forester. No mulch, gardens, bushes or bare soil shall be permitted within the drainage and utility easement. No landscaping timbers, block, play structures or utility sheds shall be permitted within the drainage and utility easement.

4. Drainage and utility easements that serve as ponding basins.

Non-slat chain link fences or split rail type fences, trees, bushes, landscape walls, and other landscape materials may be permitted within drainage and utility easements that serve as ponding basins provided they are: approved by the Public Works Department; are installed above the 100 year high water level for the pond; and do not impede water flow or maintenance access to the pond. The Public Works Department may require the installation of gates for fence installations that may restrict access to the ponding basin.

All of the ground surface within the ponding basin area at or below the 100 year high water level for the pond must be vegetated with grass or other suitable ground cover approved by the City Forester. No mulch, gardens, bushes or bare soil shall be permitted within the ponding basin area at or below the 100 year high water level for the pond.



5. Trail or pedestrian easements.

No private fence or landscaping improvements are permitted within trail or pedestrian easements.

