



Department of Planning & Zoning

101 4th St E, Hastings, MN 55033

Phone: 651-480-2381

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www.hastingsmn.gov

Residential Garage/Accessory Structure Zoning Handout

Accessory Structure: *Anything constructed on the same lot with, and of a nature customarily incidental and subordinate to, the principal use or structure. (shed, garage, gazebo, and similar)*

General Requirements

- Permits are required: [Zoning Permit](#) if between 75& 200 SF, [Building Permit](#) if greater than 200 SF.
- May not be erected on a residential lot without a principal structure (house).
- Although some structures may be “movable”, structures are only regulated as permanent.
- Exterior siding must be a residential quality material. Corrugated metal siding is not permitted.
- Driveways must be hard surfaced (asphalt, concrete, paver)
- Secondary driveways are often permitted on side streets up to 12-feet wide at the property line (primary driveways may be up to 30-foot wide at the property line.
- Garages attached to the house must follow the zoning requirements applicable to the house.

Number, Size, and Height Requirements

- Where the principal structure has an attached garage, **one** accessory structure up to 1,000 Sf is permitted, plus an accessory storage structure 120 Sf or less.
- Where the principal structure doesn't have an attached garage, **two** accessory structures up to 1,000 Sf combined is permitted, except in the R-6 Manufactured Home District, where only one structure is allowed.
- Limited to one story and the following height limits, whichever is most restrictive:
 - a) Height of the principal structure, 16-feet to the halfway point of the roof from drip edge to peak.
- Maximum sidewall height: 10-feet.

Location Requirements

- Not permitted in Easements.
- Setback - rear and side setback: 5-feet from property lines, if no easements exist.
- Corner side or alley with street/ alley facing garage doors: 20-feet from the property line.
- Corner side without street facing garage doors: 10-feet from the property line.
- Setback from other structures: 6-feet (not including fences).
- Not allowed in front of the principal structure (house)
- The city does not provide land surveying services but may require them during the permitting process in unique circumstances. You may be able to locate your properties corner survey markers with a metal detector. Visit <https://gis.co.dakota.mn.us/DCGIS/> to view your property and projected property lines.



Department of Building Safety

101 4th St E, Hastings, MN 55033

Phone: 651-480-2342

Email: Building@Hastingsmn.gov
www.hastingsmn.gov

Garage/Accessory Structure Handout

This handout is a compilation of some of the standard requirements based on the State Building Code and City Ordinance for projects of this type. This information packet does not contain all the specific codes for construction and should only be used as a guide. The permittee is responsible to meet all code requirements applicable to each project.

Submittals:

- ☐ Building permit application
- ☐ Site plan/survey showing the location of the proposed structure, distance to property lines and other structures (house, accessory structures)
- ☐ Construction plans including foundation, wall bracing, truss and header specs
- ☐ Accessory structure worksheet (attached)
- ☐ Mechanical permit application (if applicable)
- ☐ Plumbing permit application (if applicable)
- ☐ Electrical permit application (if applicable)
- ☐ Owner-contractor waiver if homeowner is completing the work themselves

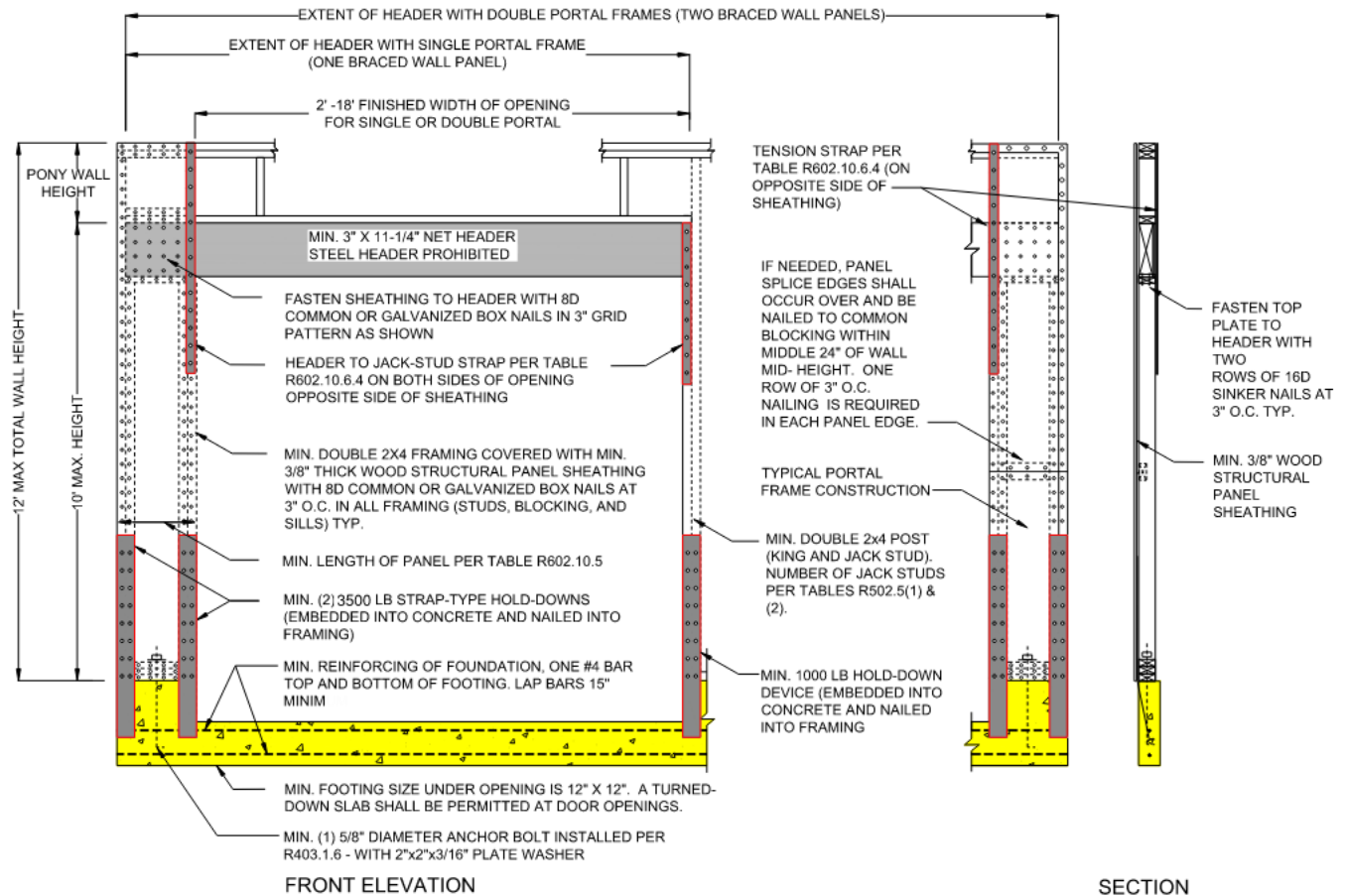
Required inspections: Complete permit package and plan set must be onsite

- Footing (before concrete is poured)
- Foundation
- Sheathing (before WRB installation)
- Framing (stamped truss drawings required)
- Water resistive barrier (photos acceptable)
- Ice and water (if applicable, photos acceptable)
- Final

Typical code requirements for garages and accessory structures:

- **Zoning:** Review *Residential Accessory Structure Zoning Handout* for specific zoning requirements.
- **Call 811:** prior to digging contact Gopher State One Call to verify utility locations. 48-hour notice is required. <https://www.gopherstateonecall.org/>
- **Footings:** Footings must extend to frost depth for all structures attached to the house. A monolithic slab with integrated footing may be used for one story detached structures less than 1000 square feet on all soils except peat and muck. (See attached for monolithic slab example.)
- **Anchor bolts:** Sill (sole) plates must be anchored to the foundation with not less than ½" diameter steel bolts or approved straps embedded at least 7" into the concrete. Anchor bolts shall not be spaced more than 6' apart with a minimum of 2 anchor bolts per section of plate and an anchor bolt placed not more than 12" from the end of each individual plate. They must be located within the center 1/3 of the sole plate. Anchor straps must be installed according to manufacturer's specifications. Anchor bolts must be available at footing inspection.
- **Sill (sole) plate:** Sill plates shall be of naturally durable wood or wood that is preservative treated in accordance with AWPAC U1 for the species, product, preservative, and end use.
- **Wall framing:** Studs must be placed with their wide dimension perpendicular to the wall. The minimum stud size is 2"x 4" and not more than 24" on center.
- **Top plate:** Stud walls shall be capped with a double top plate installed to provide overlapping at corners and intersections with bearing partitions. End joints in top plates shall offset at least 24". Plates shall be not less than 2" nominal thickness and have a width at least equal to the stud width.
- **Sheathing:** Approved wall and roof sheathing must be installed according to manufacturer's specifications and approved wall bracing plan.
- **WRB:** A weather resistive barrier is required prior to installation of siding. Photos are acceptable. Must have required flashing installed at time of inspection/photos.
- **Attached garages:** Not less than ½" gypsum board must be applied to the garage side from floor plate to roof sheathing.
- **Wood ground separation:** Untreated wood sheathing and siding must maintain 6" minimum clearance to the ground.
- **Stem wall (curb block):** Concrete masonry blocks used for stem wall (curb block) must be a minimum 6" modular width.
- **Narrow wall panel:** Special construction with enhanced anchorage may be required where walls adjacent to openings are less than 48". See **PFH**-portal frame with hold-downs detail. Other portal frame options may include **PFG**- Portal Frame at Garage, **CS-PF**- Continuously Sheathed Portal Frame.
- **Stem wall reinforcing:** Masonry stem wall with a length of 48" or less supporting braced wall panels shall be reinforced in accordance with Figure 602.10.9.
- **Attic ventilation:** Buildings with finished ceilings require attic ventilation. It must be supplied evenly distributed total opening area may be 1/300th of the attic area.
- **Automatic garage door openers:** must have a safety device that causes a closing door to open and prevents an open door from closing when a person or obstruction is encountered in the door's path. The device must be labeled UL325.

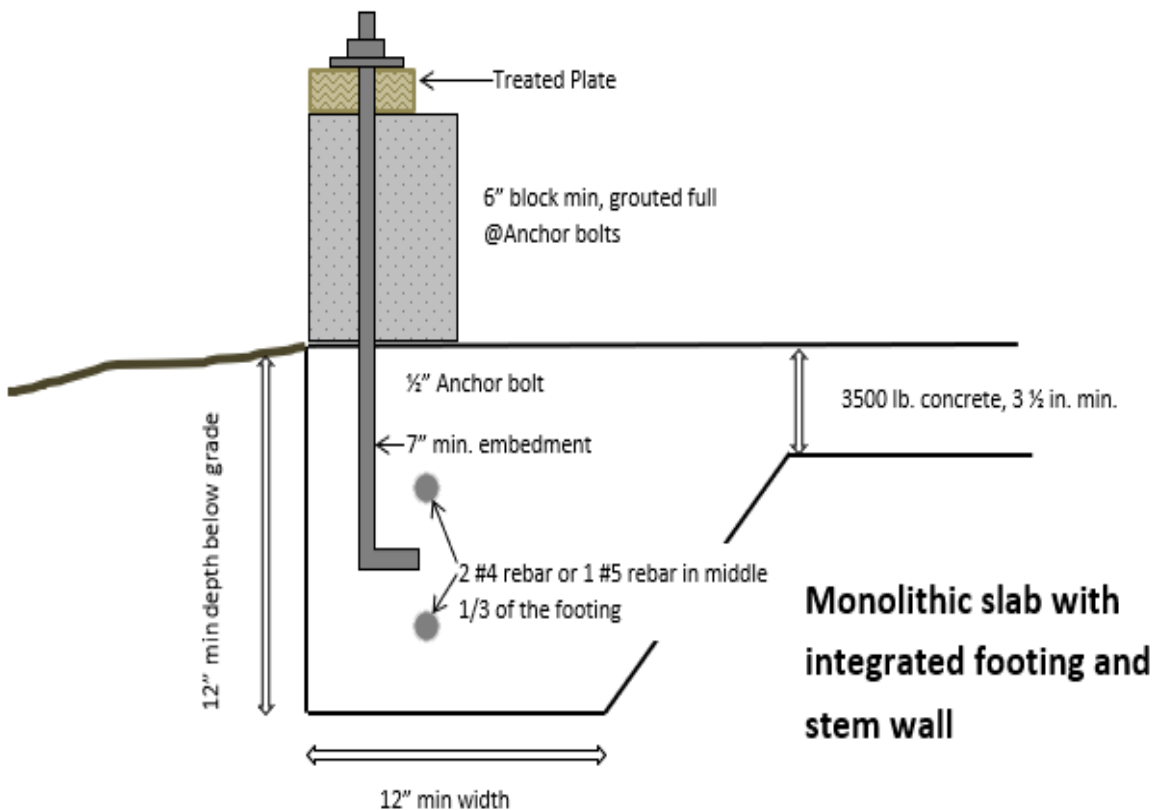
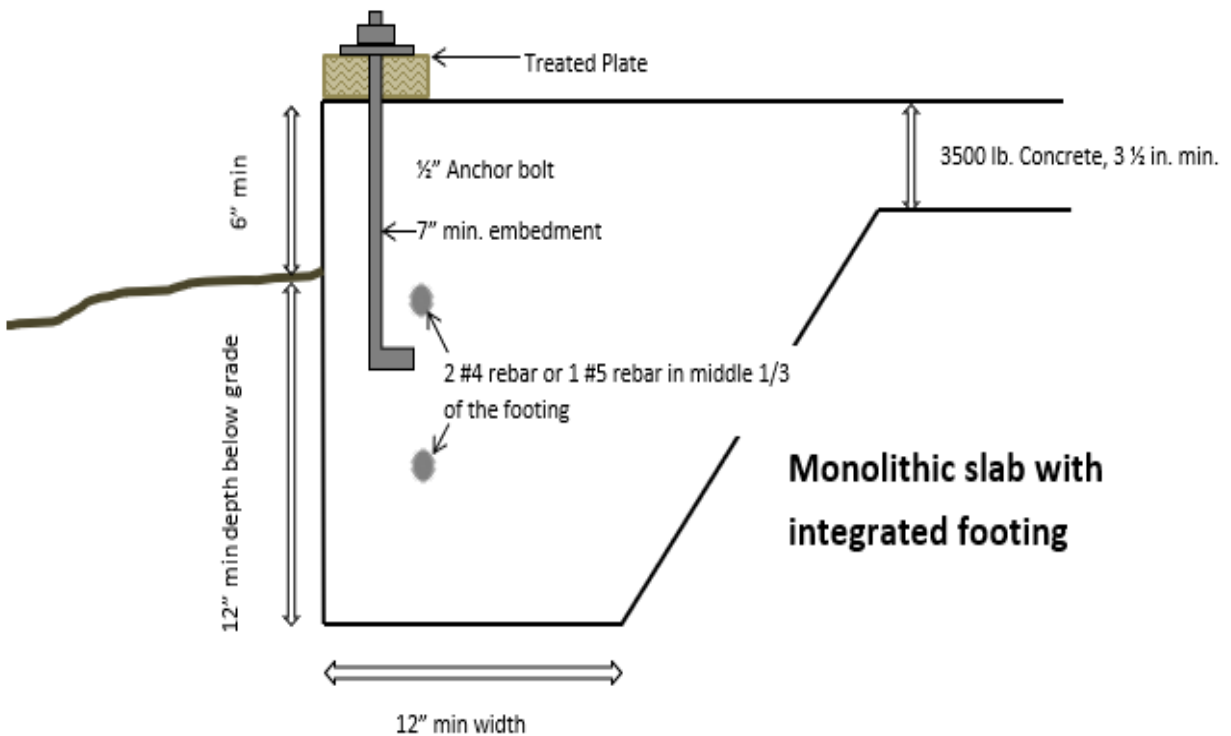
R602.10.6.2 Method PFH: Portal frame with hold-downs. Method PFH braced wall panels shall be constructed in accordance with Figure R602.10.6.2.

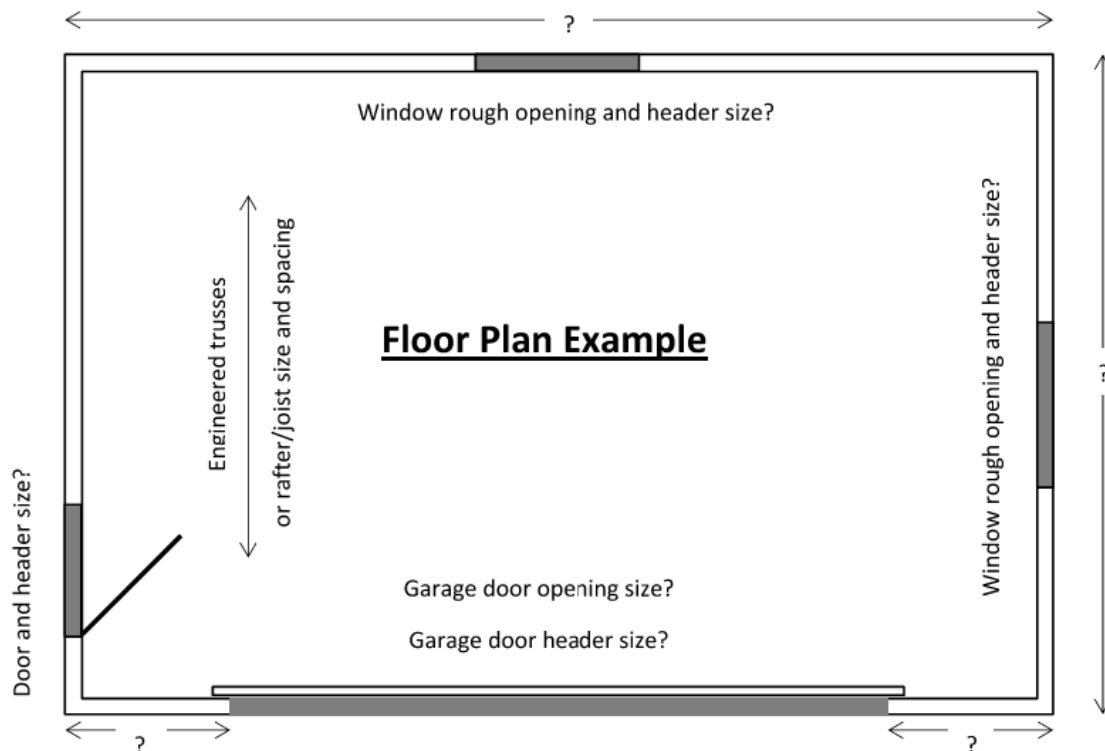
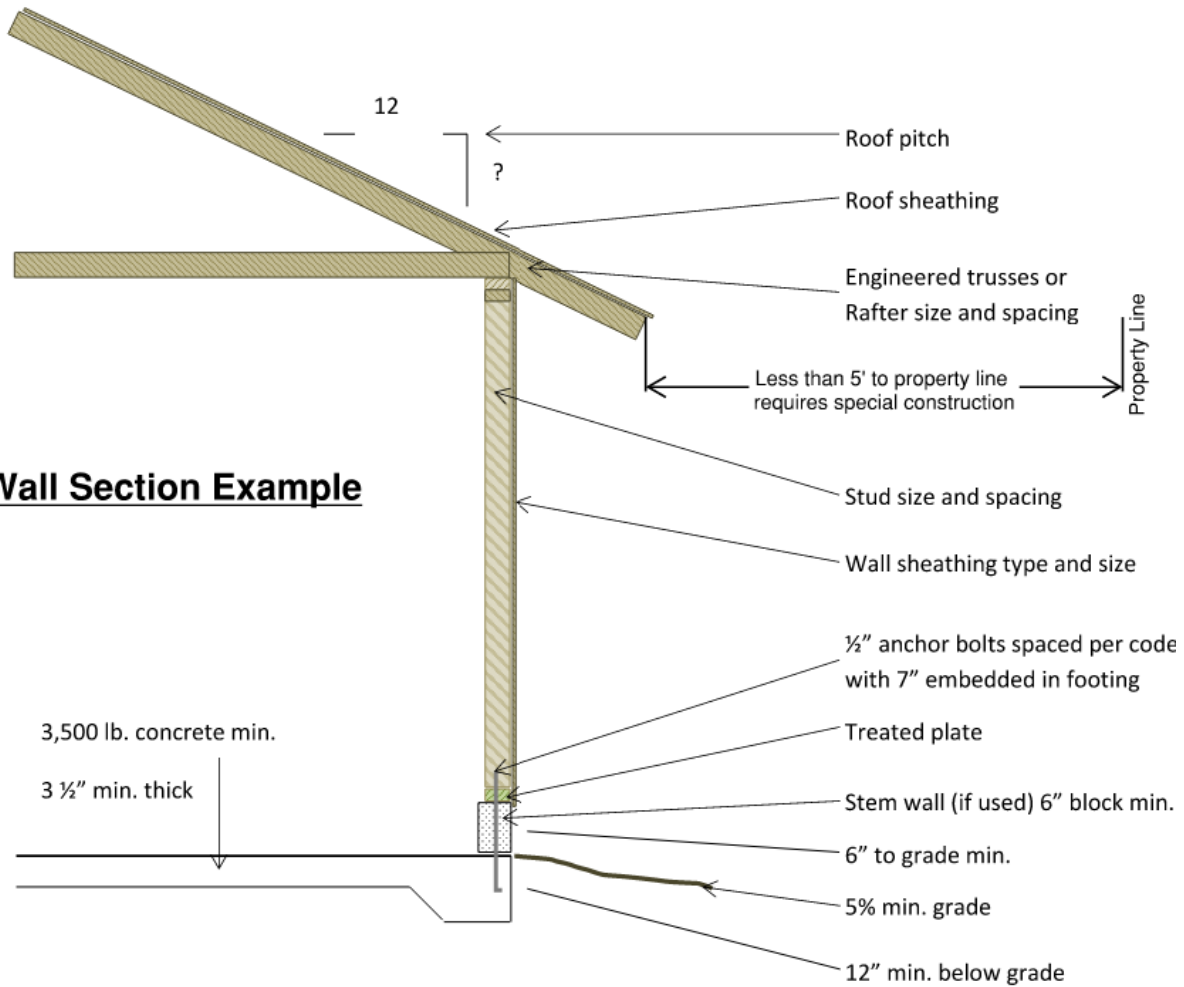


For SI: 1 inch = 25.4 mm, 1 foot = 305 mm

FIGURE R602.10.6.2
METHOD PFH: PORTAL FRAME WITH HOLD-DOWNS

For One Story Detached Accessory Structures Less Than 1,000 Square Feet





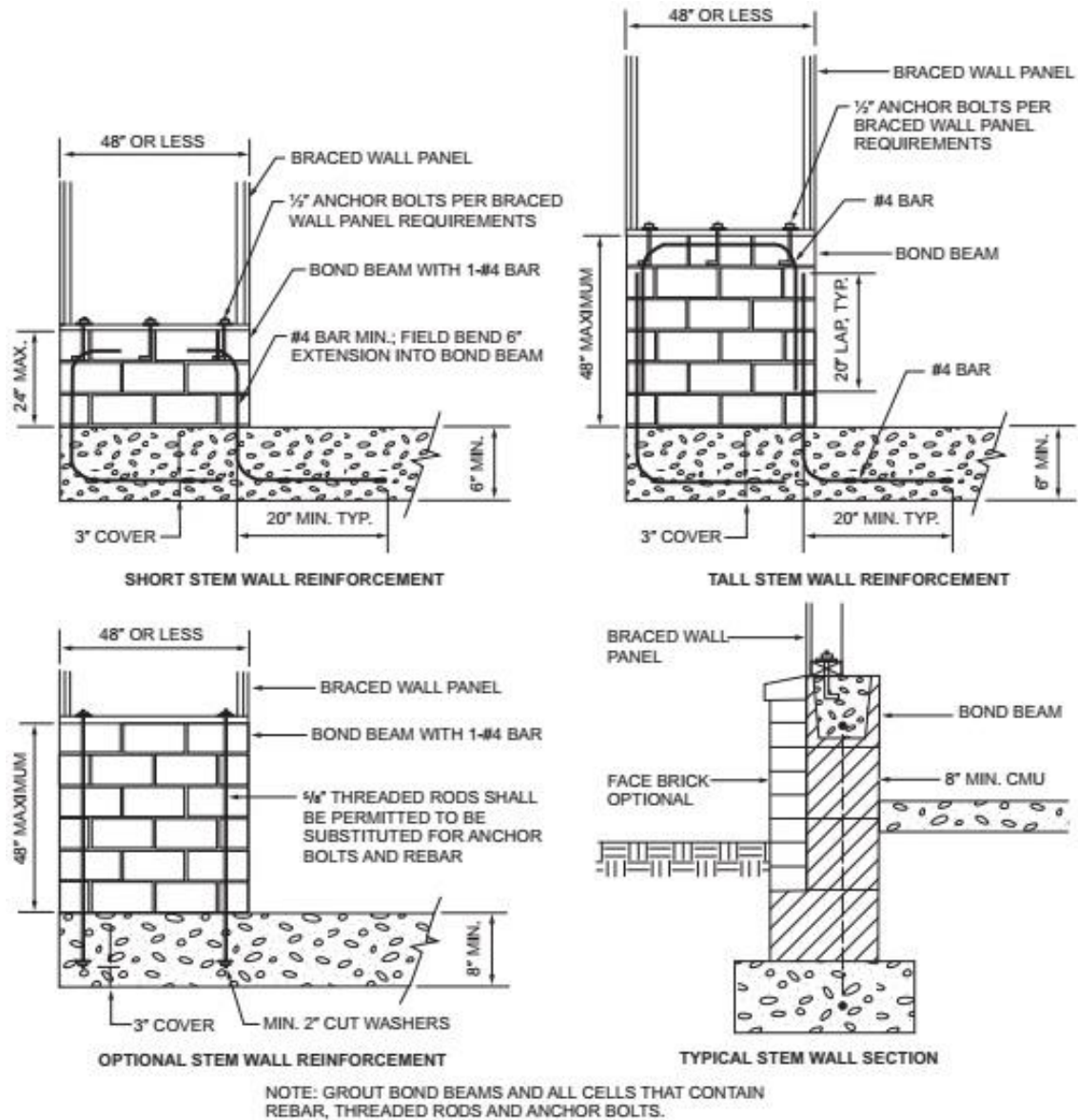


FIGURE R602.10.9

MASONRY STEM WALLS SUPPORTING BRACED WALL PANELS

R602.10.9 Braced wall panel support.

Masonry stem walls with a length of 48 inches (1219 mm) or less supporting *braced wall panels* shall be reinforced in accordance with Figure R602.10.9. Masonry stem walls with a length greater than 48 inches (1219 mm) supporting *braced wall panels* shall be constructed in accordance with Section R403.1 Methods ABW and PFH shall not be permitted to attach to masonry stem walls.

Accessory Structure Worksheet
(complete and submit with permit application)

1. Garage Size _____ X _____
2. Footing Size width _____ X depth _____
3. Stem wall if applicable _____
4. Garage height to peak _____
5. Wall height _____
6. Stud size & spacing _____
7. Garage door header type & size _____
8. Window/Door header type & sizes _____
9. Wall sheathing _____
10. Roof pitch _____
11. Truss or Rafter spacing _____
12. Siding material _____

**Department of Building Safety**101 4th St E, Hastings, MN 55033

Phone: 651-480-2342

Email: Building@Hastingsmn.govwww.hastingsmn.gov**General Building Permit
Application**

SITE ADDRESS: _____

PID#: _____

Owner Name: _____

Contact Name: _____

Street Address: _____

Phone: _____

City: _____ State: _____ Zip: _____

Email: _____

Occupant Name: _____

Contact Name: _____

Street Address: _____

Phone: _____

City: _____ State: _____ Zip: _____

Email: _____

Description of Project: _____ **Valuation:** \$ _____

Note: If building is a Heritage Preservation Site prior approval from city planner and/or HPC is required before issuance of permit for any work involving the exterior of the structure.

Building Contractor	Company: _____ Phone: _____
<input type="checkbox"/> Owner Performed	Contact Name: _____
(Owner Waiver Required)	License # _____ Exp Date: _____
	Street Address: _____
	City: _____ State: _____ Zip: _____
	Email: _____

The undersigned acknowledges that he/she has read this application, and the above information is correct and accurate. Applicant also understands by signing this application that he/she could be held responsible as representative of this project for any violation of compliance with all applicable laws and ordinances of the City of Hastings.

Signature of Applicant or Authorized Agent_____
Date

NOTICE: This is an **application only**. Permit will be issued after City approval and payment of fees. Permit shall be null and void if authorized work is not started within 180 days or work is suspended for 180 days or more.

OFFICE USE ONLY

Bld Type	<input type="checkbox"/> SFD <input type="checkbox"/> DUPLEX	<input type="checkbox"/> TOWNHOUSE <input type="checkbox"/> CONDO	<input type="checkbox"/> COMMERCIAL	
Work Type	<input type="checkbox"/> Retaining Wall <input type="checkbox"/> Foundation	<input type="checkbox"/> Garage/Acc. <input type="checkbox"/> Sump Pump	<input type="checkbox"/> Remodel	<input type="checkbox"/> Other
Required Inspections	<input type="checkbox"/> Footings <input type="checkbox"/> Drain tile <input type="checkbox"/> Sewer/Water	<input type="checkbox"/> Framing <input type="checkbox"/> Sheathing <input type="checkbox"/> Ice/water <input type="checkbox"/> WRB	<input type="checkbox"/> Mech RI <input type="checkbox"/> Plumb RI <input type="checkbox"/> Plumb Final <input type="checkbox"/> Mech Final	<input type="checkbox"/> Life Safety <input type="checkbox"/> Final
Fee Notes	<input type="checkbox"/> Plan Review _____ _____ _____	<input type="checkbox"/> Other _____ _____ _____	<input type="checkbox"/> SAC/WAC	

Residential Valuation

Basement	Sq Ft	\$/Sq Ft	Subtotal
Crawl Space		\$15.00	
Unfinished		\$30.00	
Mechanical Room		\$30.00	
Finish (New)		\$50.00	
Finish (Existing)		\$30.00	
Finish (Existing Conversion- No Plumb)		\$25.00	
Single/Multi Family	Sq Ft	\$/Sq Ft	Subtotal
Main Floor		\$100.00	
Second Floor		\$100.00	
Unfinished Floors Above Grade		\$75.00	
Garage	Sq Ft	\$/Sq Ft	Subtotal
Wood Framed		\$50.00	
Carport		\$30.00	
Decks/Porches	Sq Ft	\$/Sq Ft	Subtotal
Covered Entry		\$50.00	
Screen Porch		\$75.00	
3 Season Porch		\$85.00	
4 Season Porch		\$95.00	
Deck		\$25.00	
TOTAL			

Building Approval: _____ Date: _____

Planning Approval: _____ Date: _____

Engineering Approval: _____ Date: _____

Fire Marshal Approval: _____ Date: _____